



# Staff Report

PLANNING DIVISION  
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Planning Commission  
From: Casey Stewart; 801-535-6260  
Date: April 21, 2016  
Re: PLNPCM2016-00118 Conditional Building and Site Design for AC Marriot Hotel and PEG Apartments

## CONDITIONAL BUILDING AND SITE DESIGN REVIEW

**PROPERTY ADDRESS:** Multiple (209-255 West 200 South; 218-255 South 200 West; and 240 S Poplar Court)

**PARCEL ID:** 11 parcels (15-01-254-014 through 15-01-254-023; 15-01-256-001)

**MASTER PLAN:** Central Community, Downtown

**ZONING DISTRICT:** D-4 (Downtown Secondary Central Business District) for most and D-3 for the southern tip

**REQUEST:** Approval of the design and site plan of a proposed hotel building and a separate multi-family residential building, both of which would exceed the base 75-foot height limit. Specifically, the proposed hotel building would be approximately 109 feet in height, while the multi-family building would be approximately 84 feet in height. Buildings over 75 feet in height in the D-4 zone can only be approved through the Conditional Building and Site Design Review process. The Planning Commission has final decision making authority for Conditional Building and Site Design Review.

**RECOMMENDATION:** Based on the testimony, plans presented and the following findings, I move that the Planning Commission approve Petition PLNSUB2016-00118 subject to conditions.

The following motion is based on the recommendation: *“based on the findings listed in the staff report and the testimony and plans presented, I move that the Planning Commission approve Petition PLNSUB2016-00118 for Conditional Building And Site Design Review subject to the following conditions:*

1. *The hotel design approved is the one with the roof top sign, not the design with the wall sign up at top.*
2. *Prior to issuance of any permit to begin construction of the approved building, the applicant or owner shall verify to the satisfaction of the Planning Director, that any shared parking agreements and cross access easements upon which approval is based are in place.*
3. *The applicant or owner shall comply with all other zoning and building requirements applicable to the project, including but not limited to number of parking stalls, demolition permits and installation of all required improvements.*
4. *The applicant or owner shall submit applications for and complete the various lot line adjustments or consolidations as necessary to achieve the two final parcels, one for each new building.*

### ATTACHMENTS:

- |                                     |                                |
|-------------------------------------|--------------------------------|
| A. Vicinity Map                     | F. Analysis of Standards       |
| B. Site Plan                        | G. Public Process and Comments |
| C. Building Elevations              | H. Dept. Comments              |
| D. Additional applicant Information | I. Motions                     |
| E. Existing Conditions              |                                |

## **PROJECT DESCRIPTION:**

### **1. Proposal Details**

The proposal is a redevelopment project consisting of constructing two new buildings, a hotel and an apartment building at a site along 200 South, between 200 and 300 West streets. Existing buildings on the site would be demolished, except for the historic Sweet Candy Company building, which is listed on the National Register of Historic Places. The proposal is going through the “conditional building and site design review” specifically for an increase to the height allowance for both new buildings. The hotel would be constructed to a building height of 109 feet and would be located on the southwest corner of 200 South and 200 West (at the corner of the intersection). The second building would be a multi-family residential building (apartments) constructed to a building height of 84 feet and located mid-block at approximately 243 West on 200 South, immediately west of the hotel.

The subject site consists of 11 smaller parcels that would be consolidated and reconfigured into three parcels, one for each new building and one for the existing Sweet’s Candy building located on 200 West.

The proposal would utilize shared parking agreements to accommodate parking for the two new buildings and the existing Sweet building. Vehicle parking would be provided by a parking garage (339 stalls) within the multi-family building and surface parking surrounding the Sweet building (93 stalls).

### **KEY ISSUES:**

The key issues listed below have been identified through the analysis of the project, neighbor input and department review comments.

#### **Issue 1: Roofline architecture**

It is staff’s opinion that the flat roof line of the proposed hotel meets the standard for granting extra building height. A distinct roofline or a roof top amenity (garden, common space, renewable energy system, etc.) is a criterion when seeking extra building height. In addition, the hotel is proposed for a corner location, giving it a prominent visual location. However, in terms of downtown building height, 109 feet as proposed is comparatively shorter and likely will not directly affect the skyline of the city. The proposal does not include any of the named roof top amenities but the roof includes a few design aspects that achieve the desired result of being distinct: the roof top sign at the northeast corner of the roof (not the wall mounted sign on the north façade as shown in the color renderings), the white band across the top of the north façade that extends outward from the primary façade and continues down the corners of the north façade, and the offset façade planes at the top that help the white band stand out.

The proposed multi-family building has been revised to include a roof line where portions of the façade extend higher than others and the massing is staggered, creating a distinct roof line adequate for its midblock location. Staff has no objections or concerns with the proposed height and design of the multi-family building.

### **DISCUSSION:**

In general the proposal is well thought out and satisfies most of the design standards for approval. The buildings in general are designed with ground levels that engage the pedestrian and facilitate the use of mass transit. The use of expansive glass looking into an active lobby area, doorway canopies, and a pedestrian-friendly plaza between the buildings are beneficial design features. The proposal adequately satisfies all of the general design standards with both buildings, but the hotel design does not conclusively satisfy the specific design standards for extra height – in particular the roofline architecture or roof top amenity. That one aspect results in staff’s decision to not recommend approval of the extra building height for the hotel; otherwise staff supports the rest of the project, subject to a reduction in the number of parking stalls to comply with the allowed maximum.

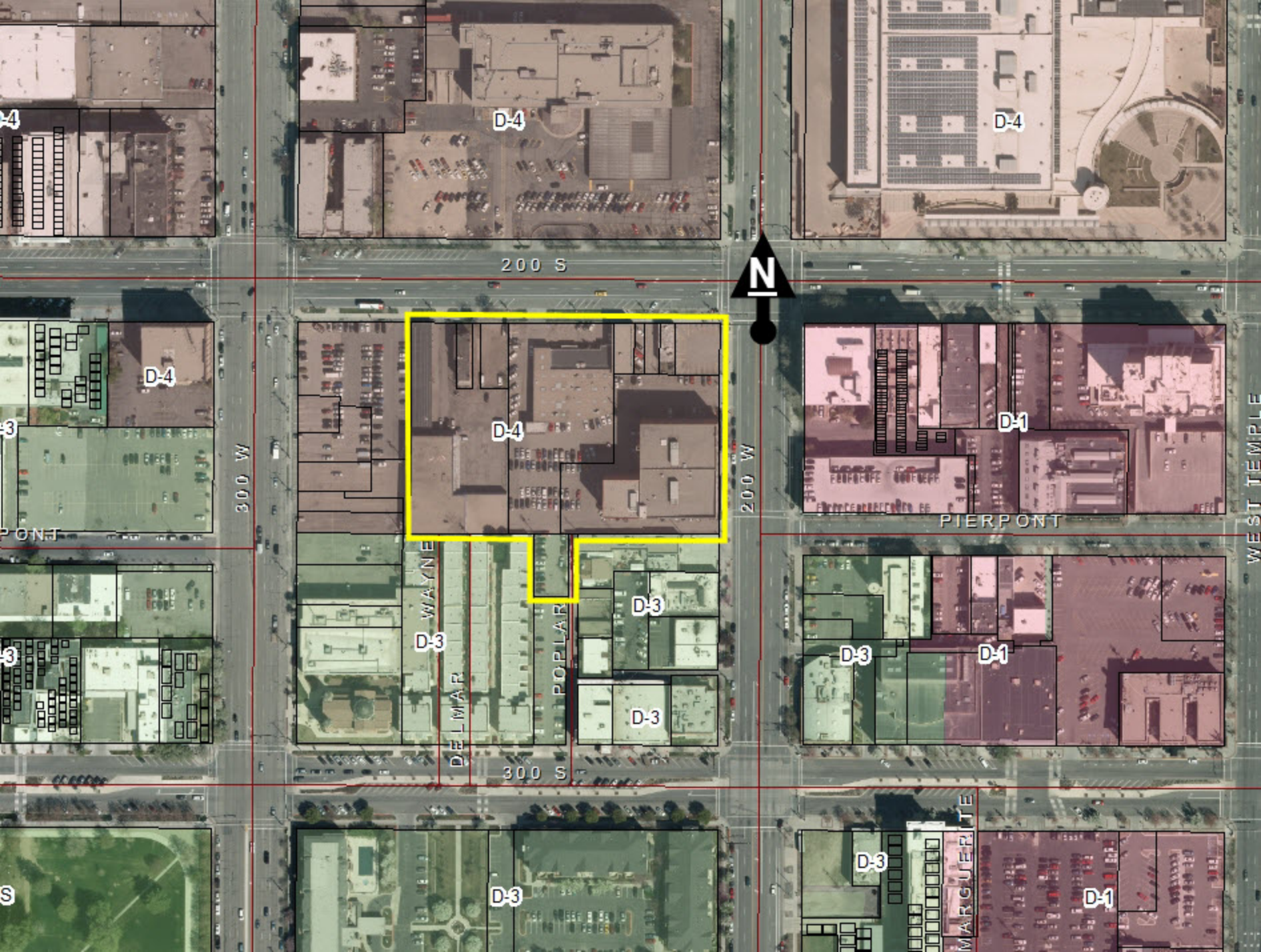
### **NEXT STEPS:**

If the entire proposal is approved, the applicant may proceed with the project and will be required to obtain all necessary permits. If denied the applicant would still be able to construct the buildings but would be limited to 75 feet tall, per the D-4 zoning district standards.

**ATTACHMENT A: Vicinity Map**

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4

D-4

D-4

200 S

N

D-4

3

300 W

D-4

D-1

PONT

PIERPONT

WEST TEMPLE

9

D-3

WAYNE

D-3

POPLAR

DELMAR

D-3

D-3

D-1

300 S

S

D-3

D-3

MARGUERITE

D-1

**ATTACHMENT B: Site Plan**

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REFERENCE NOTES

FFKR ARCHITECTS

Boque Building  
730 Pacific Avenue  
Salt Lake City  
Utah 84104  
+801-521-6186  
+801-539-1916  
ffk.com

**Site Data**  
**AC Hotel Site Area:**  
Site Area = 38,230 s.f. (0.878 ac.)  
**Landscape Area Provided:**  
2,240 s.f. (5.86%)  
**Impervious Area Provided:**  
22,459 s.f. (59.27%)  
**Building Area (Footprint):**  
13,332 s.f. (34.87%)  
**Building Area:**  
93,852 s.f.  
**Downtown Apartment**  
Site Area = 76,309 s.f. (1.754 ac.)  
**Landscape Area Provided:**  
7,972 s.f. (10.44%)  
**Impervious Area Provided:**  
3,334 s.f. (8.05%)  
**Building Area (Footprint):**  
64,063 s.f. (86.51%)

**General Site Notes:**

- 1. Stalls designated as Accessible will require a curbside - Accessible curbside and sign. (See Details)
- 2. Fire hose markings and signs to be installed as directed by the Fire Marshal.
- 3. Sign markings, directional arrows and stop bars will be provided at each driveway as shown on the plans.
- 4. All dimensions are to back of curb unless otherwise noted.
- 5. Curb curb transition at all points where curb abuts sidewalk, see detail.

**Site Construction Notes**

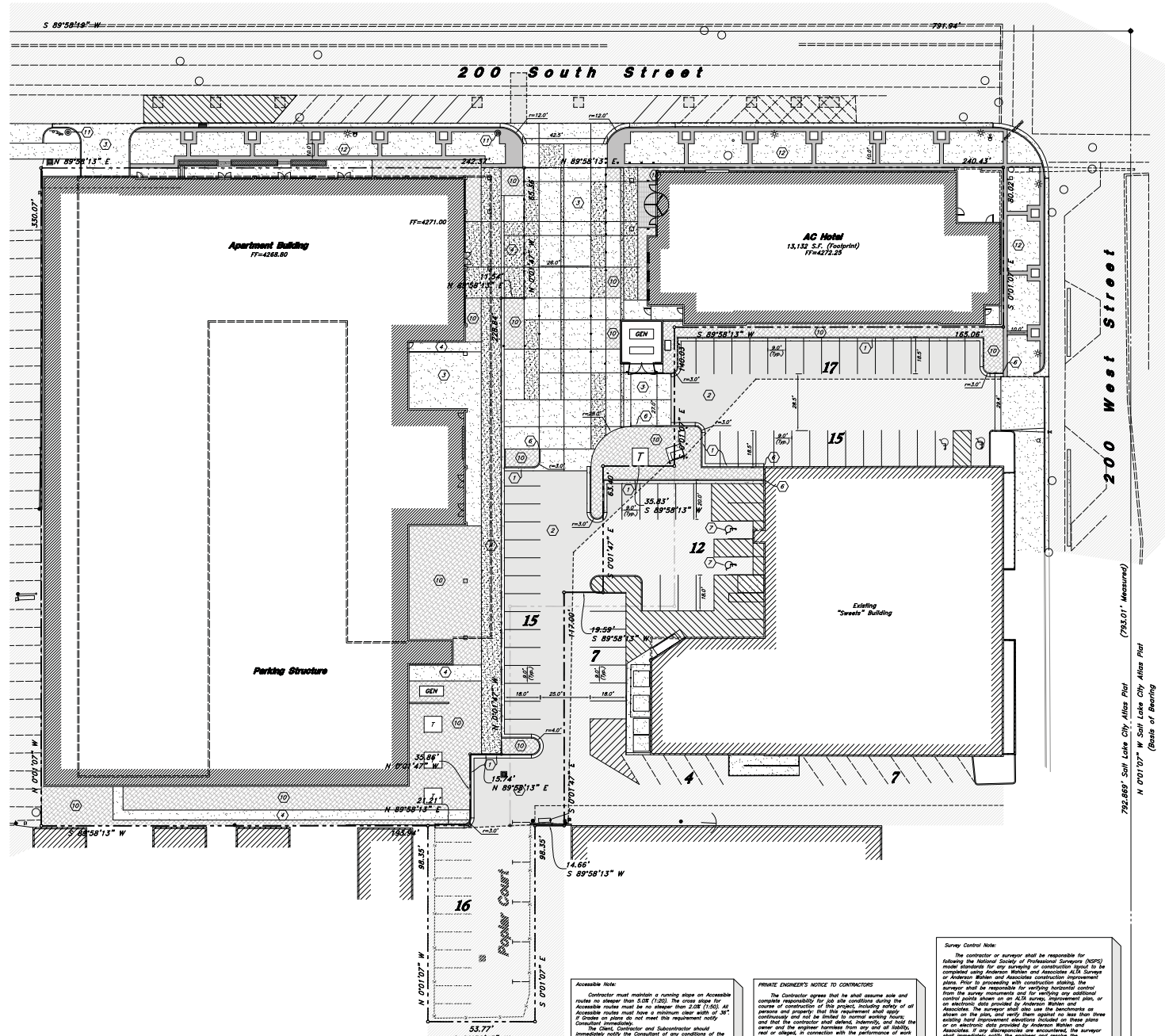
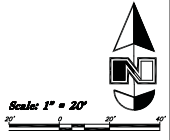
- 1. Const. 24" Curb & Gutter
- 2. Const. Asphalt Paving Section
- 3. Const. Concrete Paving Section
- 4. Const. Concrete Sidewalk
- 5. Const. Thickened Edge Sidewalk
- 6. Const. Curb Transition
- 7. Const. Accessible Slope per MUTCD & ICC/ANSI A117.1 (Latest Edition)
- 8. Const. Accessible Ramp per MUTCD & ICC/ANSI A117.1 (Latest Edition)
- 9. Interlocking Saw Cut
- 10. Provide Light Poles at Proposed Location
- 11. Const. Concrete Sidewalk with Powers per SLD 209 (2016)

DATE	2018
SCALE	AS SHOWN / CONSULT CONTRACTOR
PROJECT #	15114
CLIENT	GRW
DESIGNER	JR
SCALE	1" = 20'



AC HOTEL / PEG APARTMENTS  
219 WEST 200 SOUTH / 243 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101  
PEG DEVELOPMENT / COLMIENA PARTNERS  
CONDITIONAL BUILDING & SITE DESIGN REVIEW SUBMITTAL

Civil Site Plan  
C.1.1



**Accessible Note:**  
Contractor must maintain a running slope on Accessible routes no steeper than 1:50 (2%). The cross slope for Accessible routes must be no steeper than 1:50 (2%). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.  
The Client, Contractor and Subcontractor should immediately notify the Consultant in any condition of the project that may cause the site to conflict with the current state of the (ICC/ANSI A117.1-Latest Edition) and/or TMAA.

**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project including safety of persons and property that their equipment shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the engineer harmless from any and all claims, damages, losses, or expenses, including reasonable attorneys' fees, that may be incurred by the engineer in connection with the performance of work on this project, including but not limited to liability arising from the joint negligence of the owner or the engineer.

**Survey Control Note**  
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction staking to be completed using Anderson Station and Associates construction staking system. Prior to proceeding with construction, including the placement of all permanent monuments and for verifying any additional control points shown on an A2S survey, improvement plan, or an electronic data provided by Anderson Station and Associates, the surveyor shall also use the benchmark as shown on the plan and shall have been approved on these plans or an electronic data provided by Anderson Station and Associates. If any discrepancies are encountered the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

REFERENCE NOTES



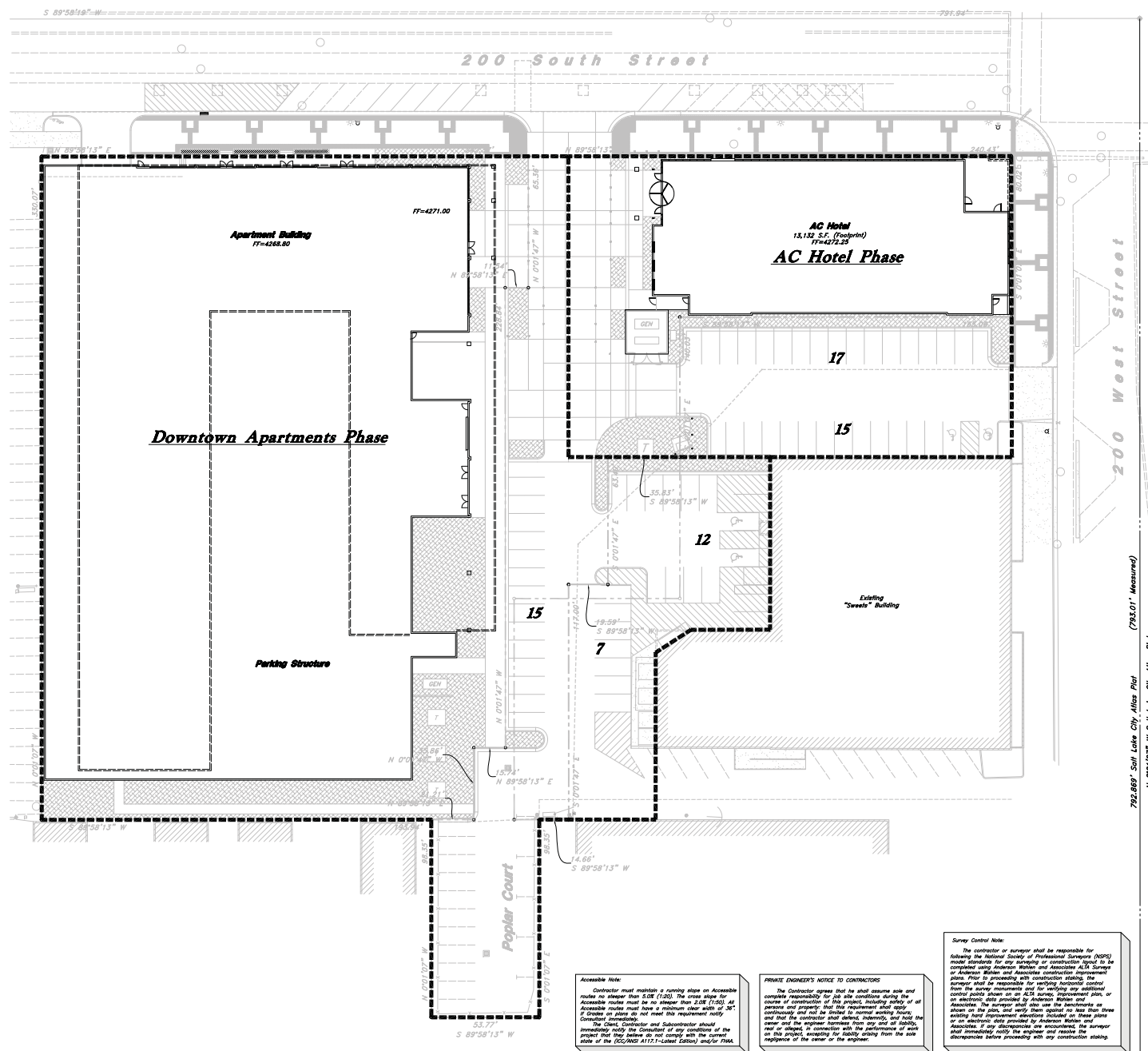
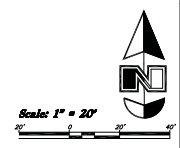
logue building  
730 Pacific Avenue  
Salt Lake City  
Utah 84104  
+801-521-6186  
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ffkr.com

AC HOTEL / PEG APARTMENTS  
219 WEST 200 SOUTH / 243 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101  
PEG DEVELOPMENT / COLMIENA PARTNERS  
CONDITIONAL BUILDING & SITE DESIGN REVIEW SUBMITTAL



Civil  
Plan

C1.2

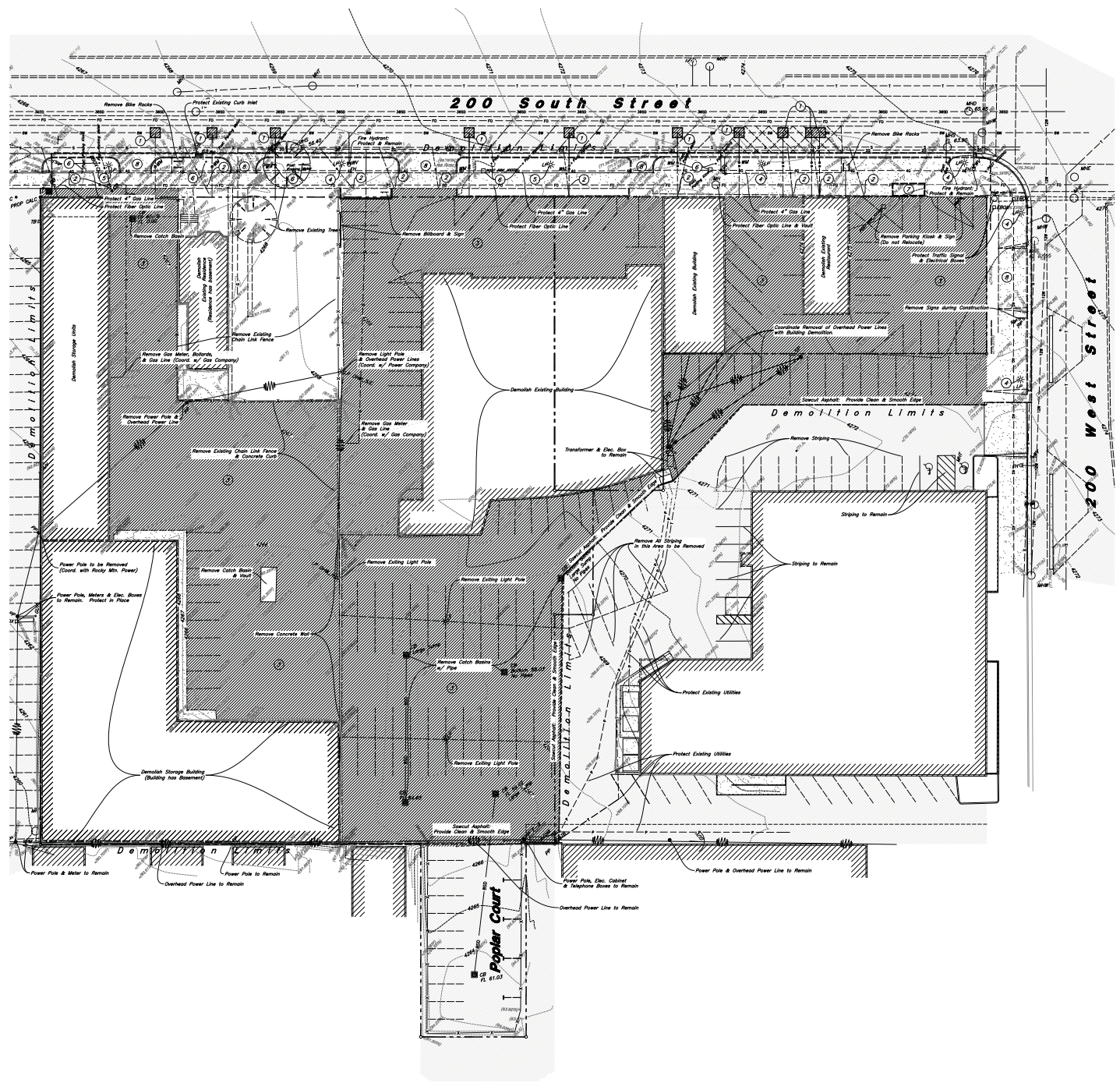


**Accessible Note:**  
Contractor must maintain a running slope on Accessible routes no steeper than 5:1 (20:1). The cross slope for Accessible routes must be no steeper than 2:1 (1:50). All Accessible routes must have a minimum clear width of 36". If Grades on plans do not meet this requirement notify Consultant immediately.  
The Client, Contractor and Subcontractor should immediately notify the Consultant in any condition of the project that may cause to not comply with the current code of the (ICC/ANSI A117.1-Label Edition) and/or TMAA.

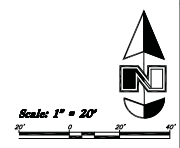
**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS**  
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project including safety of persons and property that their government shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from and all liability, loss or damage, in connection with the performance of work on this project, excepting for liability arising from the joint negligence of the owner or the engineer.

**Survey Control Note**  
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction staked to be completed using Anderson Bolton and Associates S.L.L.C. Survey or Anderson Bolton and Associates construction measurement plans. Prior to proceeding with construction, existing the surveyor shall re-verify horizontal control from the survey monuments and for verifying any additional control points shown on an AGS survey, improvement plan, or an electronic data provided by Anderson Bolton and Associates. The surveyor shall also use the measurements as shown on the plan, and verify them against the field data using existing total station/electronic data included on these plans or an electronic data provided by Anderson Bolton and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

792.869' Salt Lake City Atlas Plat (795.01' Measure)  
N 0°01'07" W Salt Lake City Atlas Plat (Basis of Bearing)



REFERENCE NOTES



Boque Building  
730 Pacific Avenue  
Salt Lake City  
Utah 84104  
+801-521-6188  
+801-539-1916  
ffk.com

- Demolition Keynotes**
1. All 4" Water Service at Main. Photo and survey per AEC-10.
  2. All 4" Sewer Lines at edge of property.
  3. Remove existing asphalt.
  4. Remove Light Pole during Construction. Reinstall at Project Completion.
  5. Remove All Tree Trunks during Construction. Reinstall per Site Plan, Sheet C1.1.
  6. Remove Parking Structure, Paving before and during Construction. Reinstall at Project Completion.
  7. Contact & Coord. with UTA to Remove Bus Stop at Project Completion.
  8. Remove Drive Approach.

- General Demolition Notes**
1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
  2. Refer to site instrumentations for more details on limits of removal.
  3. All curbs, gutters, walls, slabs, walls, fences, sidewalks, metal, steelwork and rebar, and other items, steel piping, light structures to be cleared from site. Refer to notes for details.
  4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to City, county and utility company requirements, unless otherwise shown.
  5. Excavated areas to be identified with owner-provided markers compliant to ASTM D 1537-78. Test results to be given to owner. Excavated areas should be identified per the geotechnical report prepared for the project.
  6. Clear and grub trees, stumps, and vegetation within construction limits, disposed to an off-site except where noted otherwise.
  7. Do not interfere with services or alter the operation of any businesses shown outside the demolition limits.
  8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of it in a legal manner.
  9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. The contractor shall contact utilities having jurisdiction for field location. Contractor shall be responsible for protection of in place and relocated utilities during construction.
  10. Slopestakes shall be provided to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
  11. Contractor shall be responsible for disposal of all waste material. Dispose solid or as an approved site for such material. Burning waste is not permitted.
  12. Contractor shall verify with city any street removal work with city restoration required for utility line removal.
  13. Install traffic warning devices as needed in accordance with local standards.
  14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
  15. Demolish existing buildings and clear from site. (Including removal of all building and foundations.)
  16. If asbestos is found in existing structures, the asbestos shall be removed in a legal manner by a contractor licensed to handle asbestos materials. (Not a part of contract)
  17. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately suspend the project and/or provide notification and obtain direction before proceeding with disturbance of soil material or contaminated soil.

**CAUTION :**  
The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



AC HOTEL / PEG APARTMENTS  
219 WEST 200 SOUTH / 243 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101  
PEG DEVELOPMENT / COLMIENA PARTNERS  
CONDITIONAL BUILDING & SITE DESIGN REVIEW SUBMITTAL

DATE	01/18/24
PROJECT #	15114
CLIENT	QRV
DESIGNER	JR
SCALE	1" = 20'
Civil Demolition Plan	
C0.1	



**ATTACHMENT C: Building Elevations**

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AC  
HOTELS  
MARRIOTT

AC HOTEL SALT LAKE CITY





# AC HOTEL SALT LAKE CITY

PROGRESS SET  
03/03/2016

FFKR  
ARCHITECTS

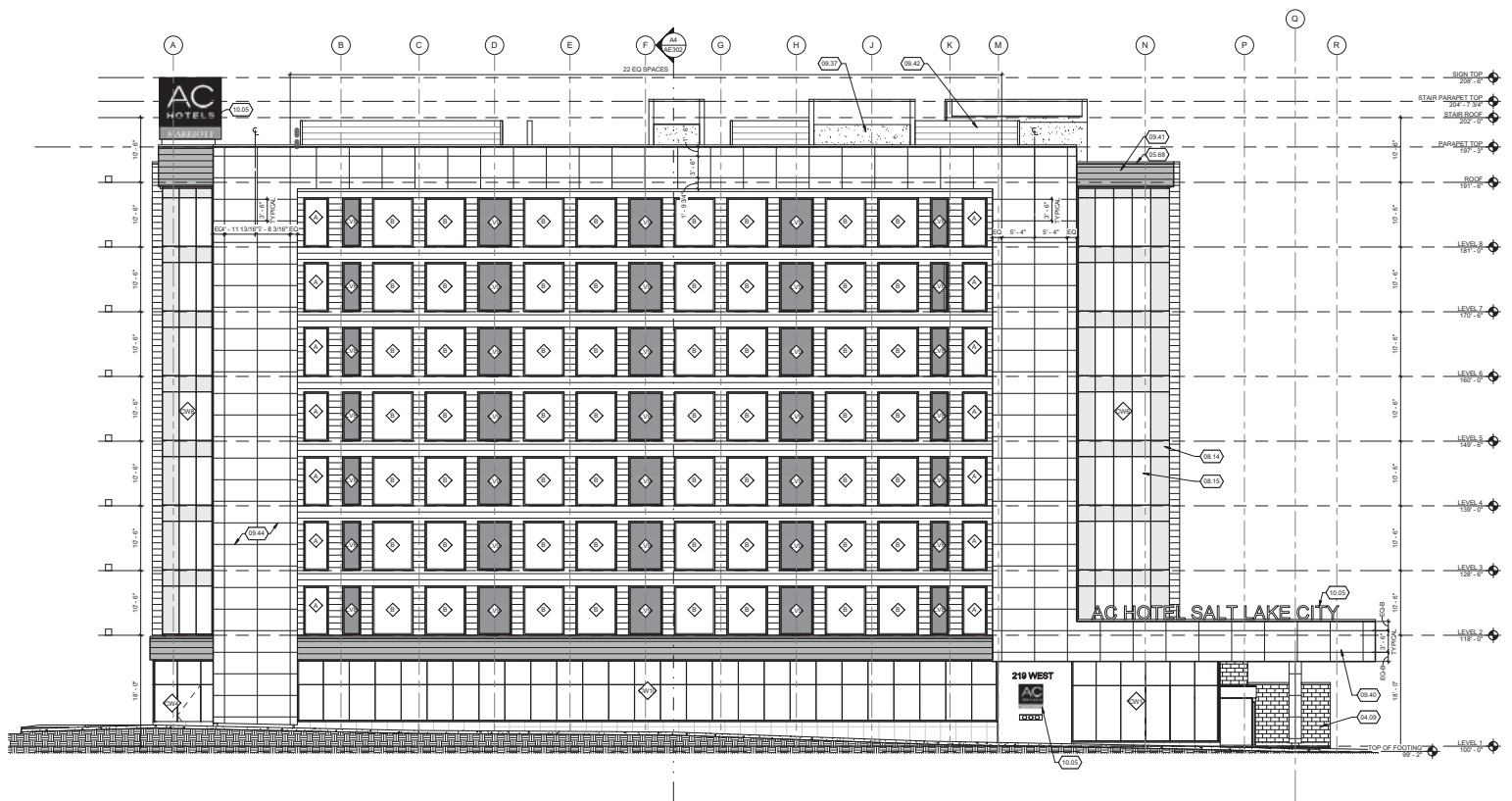
AC  
HOTELS  
MARRIOTT



AC HOTEL SALT LAKE CITY  
219 W. 200 S. SALT LAKE CITY, UT 84104

PROJECT NUMBER:  
15093

3/14/2016 8:37:50 AM



(A1) NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

REFERENCE NOTES

- 04.09 CMU - TYPE, 1, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 05.68 CORNING
- 08.14 GLASS TYPE - GL-15
- 08.15 GLASS TYPE - GL-1
- 09.37 EPS SYSTEM
- 09.40 METAL PANEL - TYPE, 1, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.41 METAL PANEL - TYPE, 2, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.42 METAL PANEL - TYPE, 3, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.44 METAL PANEL REVEAL
- 10.05 SIGNAGE

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730 pacific avenue  
salt lake city  
Utah 84104

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219 W. 200 S. SALT LAKE CITY, UT 84104  
PROGRESS SET

GENERAL NOTES

1. ALL METAL PANEL DIMENSIONS ARE TO CENTER OF PANEL REVEAL.

FENESTRATION TAG SCHEDULE

CW	CURTAIN WALL
LV	LOUVER
	WINDOW

SEE FENESTRATION SCHEDULE

FINISH LEGEND

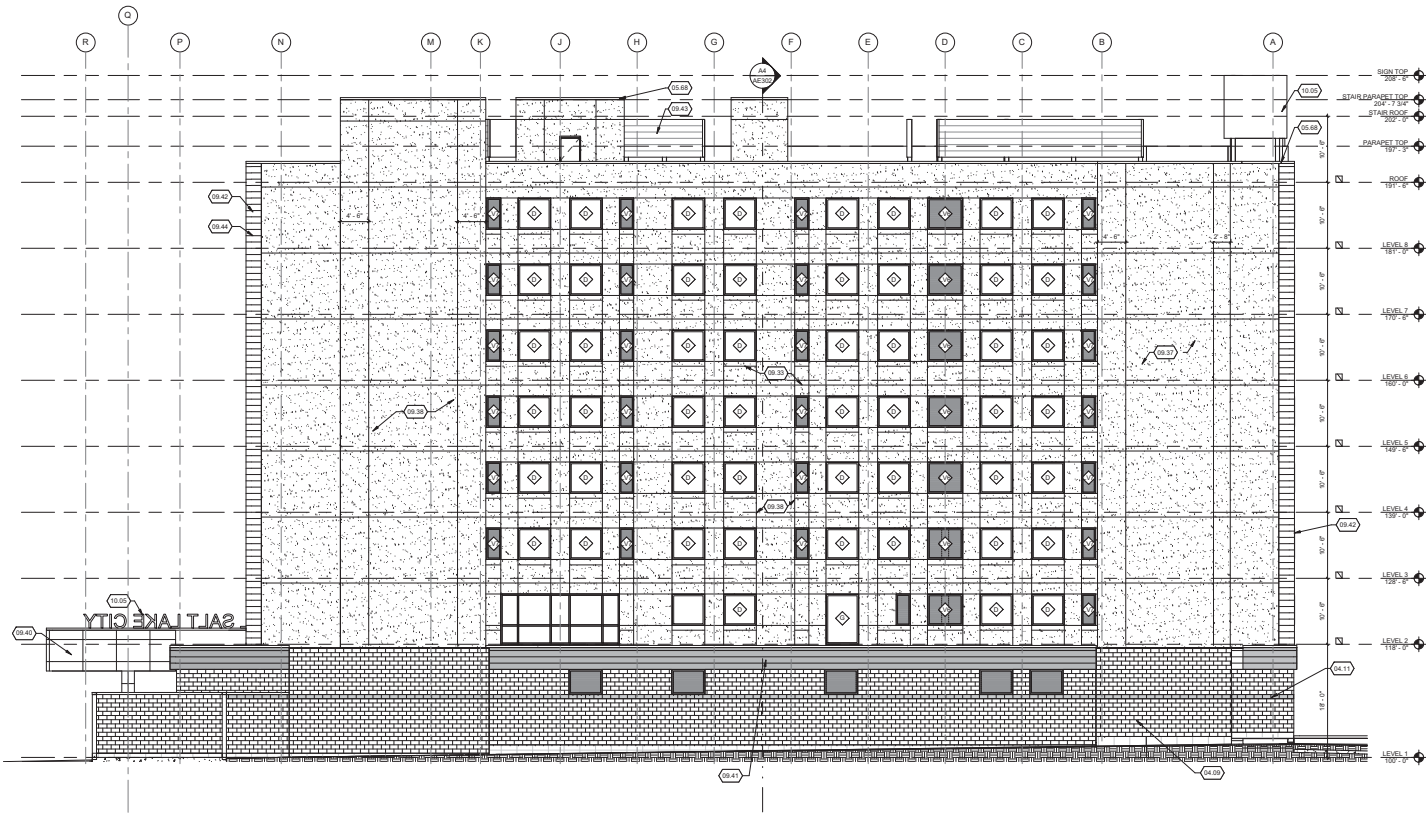
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	METAL PANEL # 2 - COLOR & FINISH SELECTED BY ARCHITECT
	METAL PANEL # 3 - COLOR & FINISH SELECTED BY ARCHITECT
	METAL PANEL # 4 - COLOR & FINISH SELECTED BY ARCHITECT
	CONCRETE MASONRY UNIT - COLOR SELECTED BY ARCHITECT
	EPS

DATE	03/03/2016	REVISION	PROGRESS SET
PROJECT NUMBER	15093		
DESIGNED BY	Ashur	CHECKED BY	Checker
DATE	As Indicated		

EXTERIOR ELEVATIONS



3/14/2016 8:37:53 AM



**A1** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

**REFERENCE NOTES**

- 04.09 CMU - TYPE 1, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 04.11 CMU - TYPE 2, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 05.68 COPING
- 09.33 EIFS CONSTRUCTION JOINT
- 09.37 EIFS SYSTEM
- 09.38 REVEAL IN EIFS
- 09.40 METAL PANEL - TYPE 1, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.41 METAL PANEL - TYPE 2, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.42 METAL PANEL - TYPE 3, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.43 GALVANIZED METAL PANEL, COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.44 METAL PANEL REVEAL
- 10.05 SIGNAGE

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**FENESTRATION TAG SCHEDULE**

CW	CURTAIN WALL
LV	LOUVER WINDOW
	SEE FENESTRATION SCHEDULE

**FINISH LEGEND**

	METAL PANEL # 1 - COLOR & FINISH SELECTED BY ARCHITECT
	METAL PANEL # 2 - COLOR & FINISH SELECTED BY ARCHITECT
	METAL PANEL # 3 - COLOR & FINISH SELECTED BY ARCHITECT
	METAL PANEL # 4 - COLOR & FINISH SELECTED BY ARCHITECT
	CONCRETE MASONRY UNIT
	CONCRETE MASONRY UNIT - COLOR SELECTED BY ARCHITECT
	EIFS

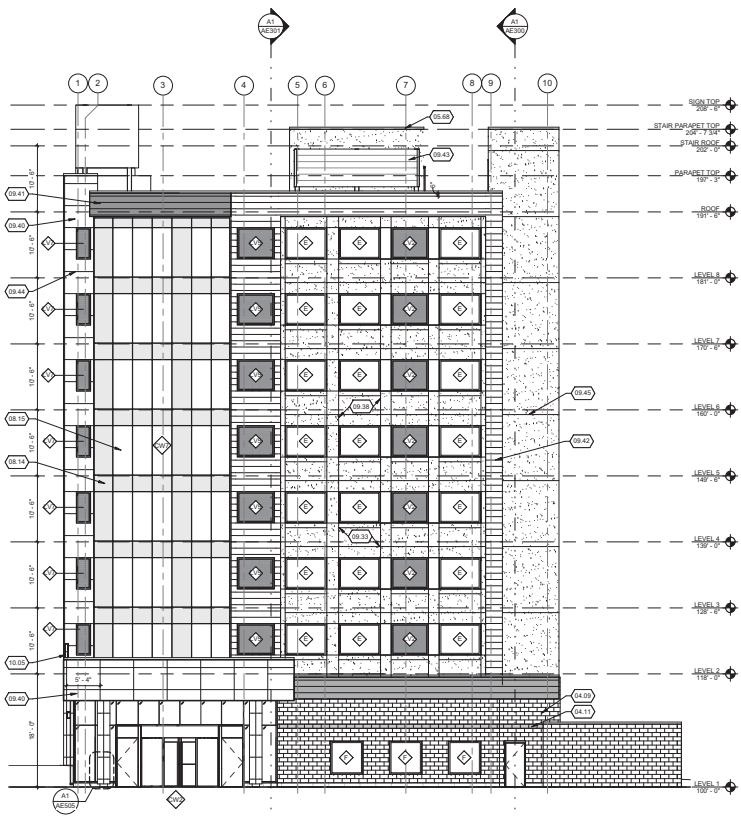
AC HOTEL SALT LAKE CITY  
219 W. 200 S. SALT LAKE CITY, UT 84104  
PROGRESS SET

DATE	03/03/2016	REVISION	PROGRESS SET
PROJECT NUMBER	15050		
DESIGNED BY	Author	CHECKED BY	Checker
DATE		SCALE	As Indicated

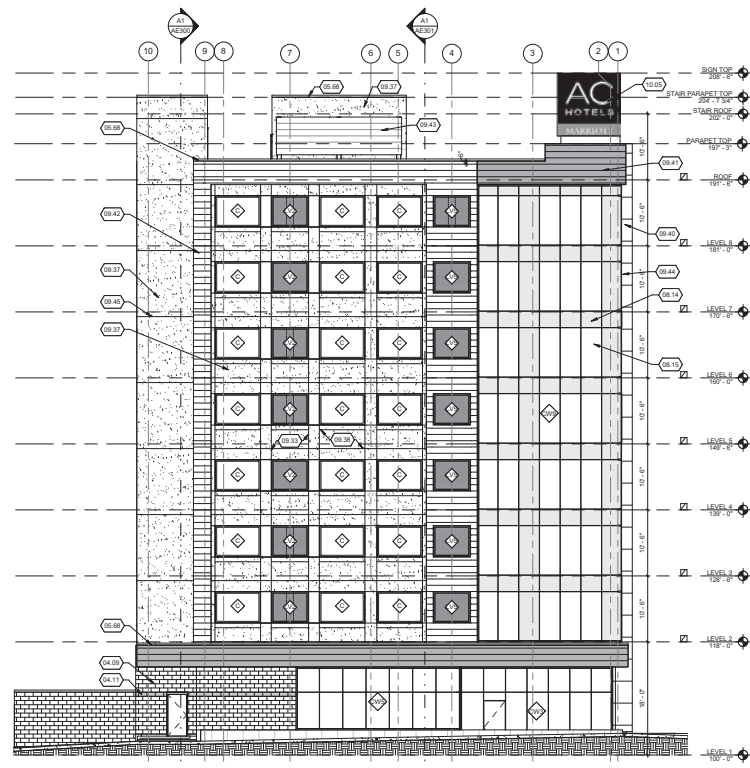
**EXTERIOR ELEVATIONS**

AE202

3/14/2016 8:37:59 AM



**A1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**A4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**REFERENCE NOTES**

- 04.09 CMU - TYPE 1 - COLOR AND FINISH AS SELECTED BY ARCHITECT
- 04.11 CMU - TYPE 2 - COLOR AND FINISH AS SELECTED BY ARCHITECT
- 05.68 COPING
- 06.14 GLASS TYPE - GL-10
- 06.15 GLASS TYPE - GL-1
- 09.33 EIFS CONSTRUCTION JOINT
- 09.37 EIFS SYSTEM
- 09.38 REVEAL IN EIFS
- 09.40 METAL PANEL - TYPE 1 - COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.41 METAL PANEL - TYPE 2 - COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.42 METAL PANEL - TYPE 3 - COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.43 GALVANIZED METAL PANEL COLOR AND FINISH AS SELECTED BY ARCHITECT
- 09.44 METAL PANEL REVEAL
- 09.45 EIFS CONSTRUCTION JOINT
- 10.05 SIGNAGE



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219 W. 200 S. SALT LAKE CITY, UT 84104  
PROGRESS SET

**FENESTRATION TAG SCHEDULE**

CW	CURTAIN WALL
LW	LOUVER WINDOW
	SEE FENESTRATION SCHEDULE

**FINISH LEGEND**

	METAL PANEL #1 - COLOR & FINISH SELECTED BY ARCHITECT
	METAL PANEL #2 - COLOR & FINISH SELECTED BY ARCHITECT
	METAL PANEL #3 - COLOR & FINISH SELECTED BY ARCHITECT
	METAL PANEL #4 - COLOR & FINISH SELECTED BY ARCHITECT
	CONCRETE MASONRY UNIT
	CONCRETE MASONRY UNIT - COLOR SELECTED BY ARCHITECT
	EIFS

DATE	REVISION
03/03/2016	PROGRESS SET
PROJECT NUMBER	15050
DESIGNER	Author
CHECKER	Checker
SCALE	As Indicated

EXTERIOR ELEVATIONS

REFERENCE NOTES

10.13 BOLLARD  
22.17 WATER METER VAULT

**FFKR**  
ARCHITECTS

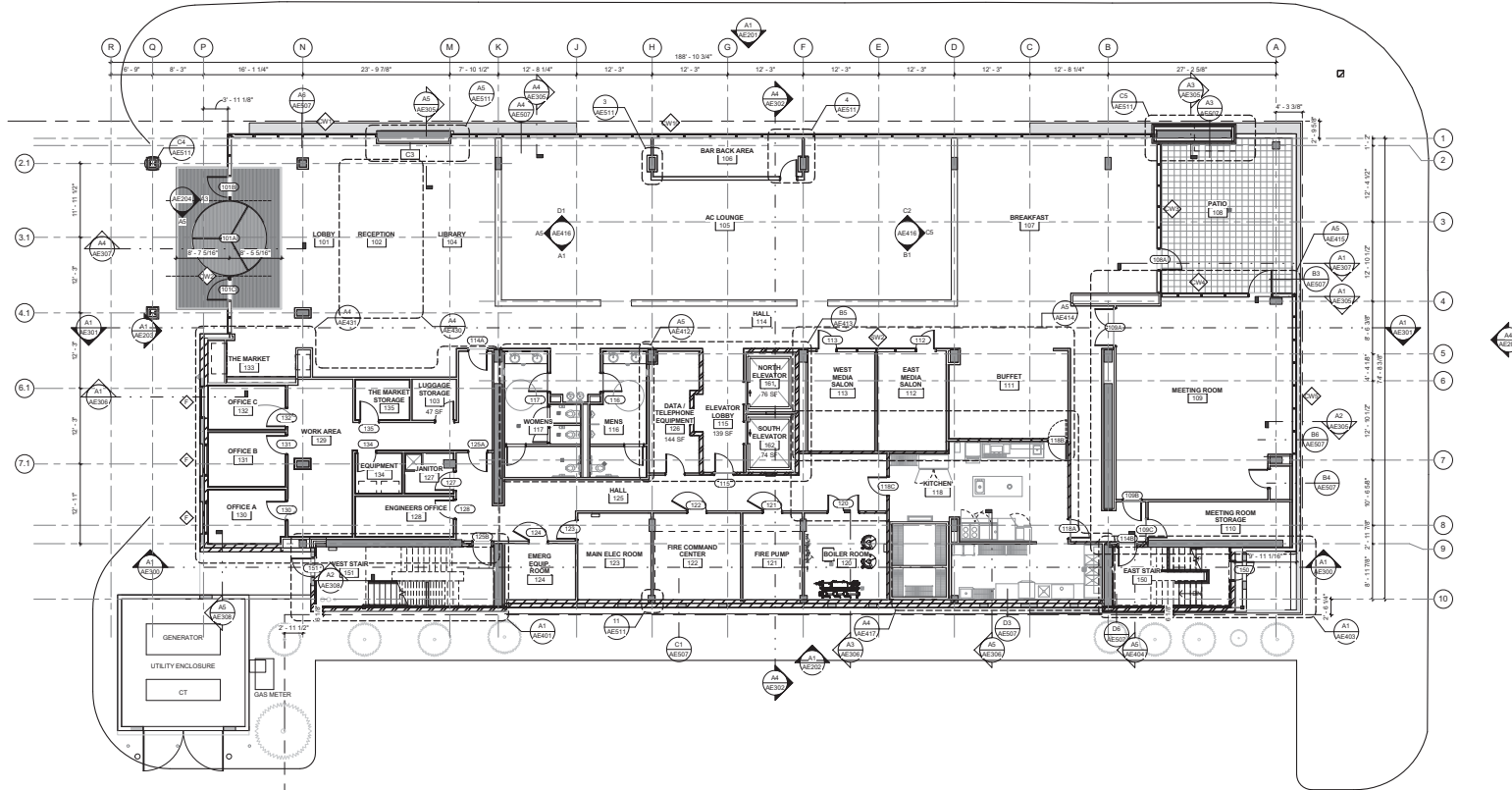
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HOTELS

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AC HOTEL SALT LAKE CITY  
219 W. 200 S. SALT LAKE CITY, UT 84104  
PROGRESS SET



**A1 LEVEL 1 FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

3/14/2016 8:37:14 AM

DATE: 03/03/2016  
REVISION: PROGRESS SET

PROJECT NUMBER: 15053

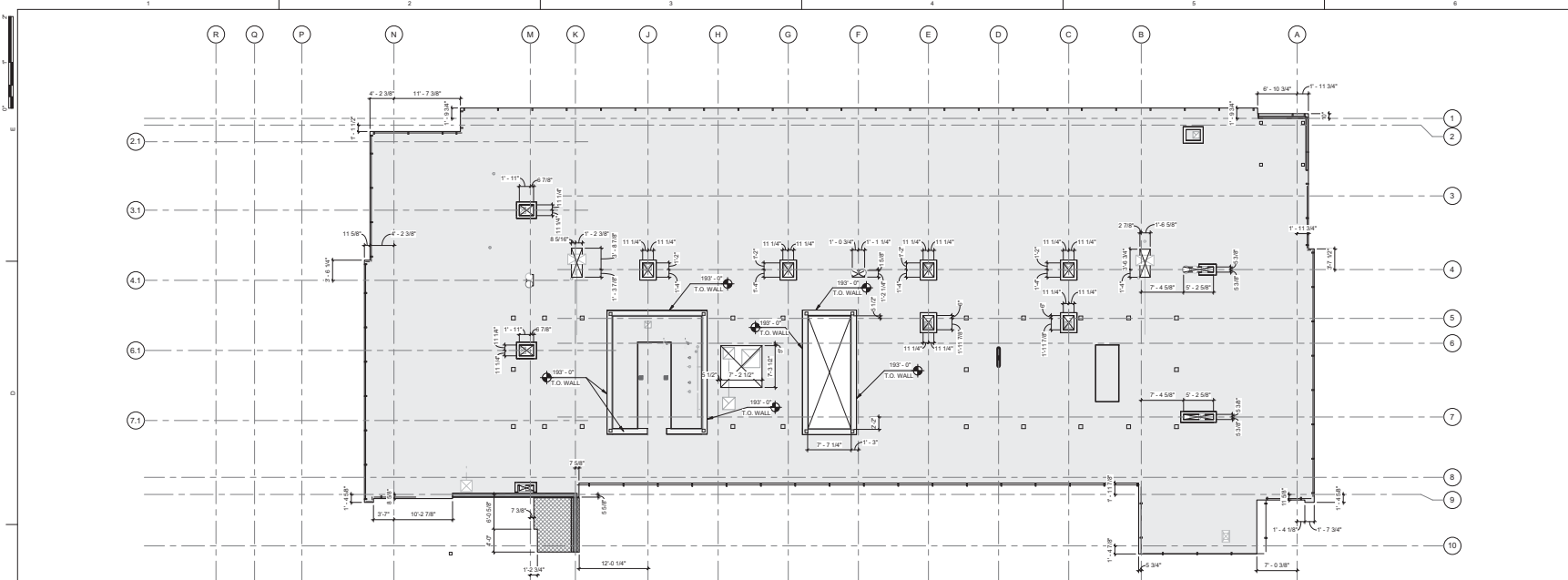
DATE: Author

DATE: Checker

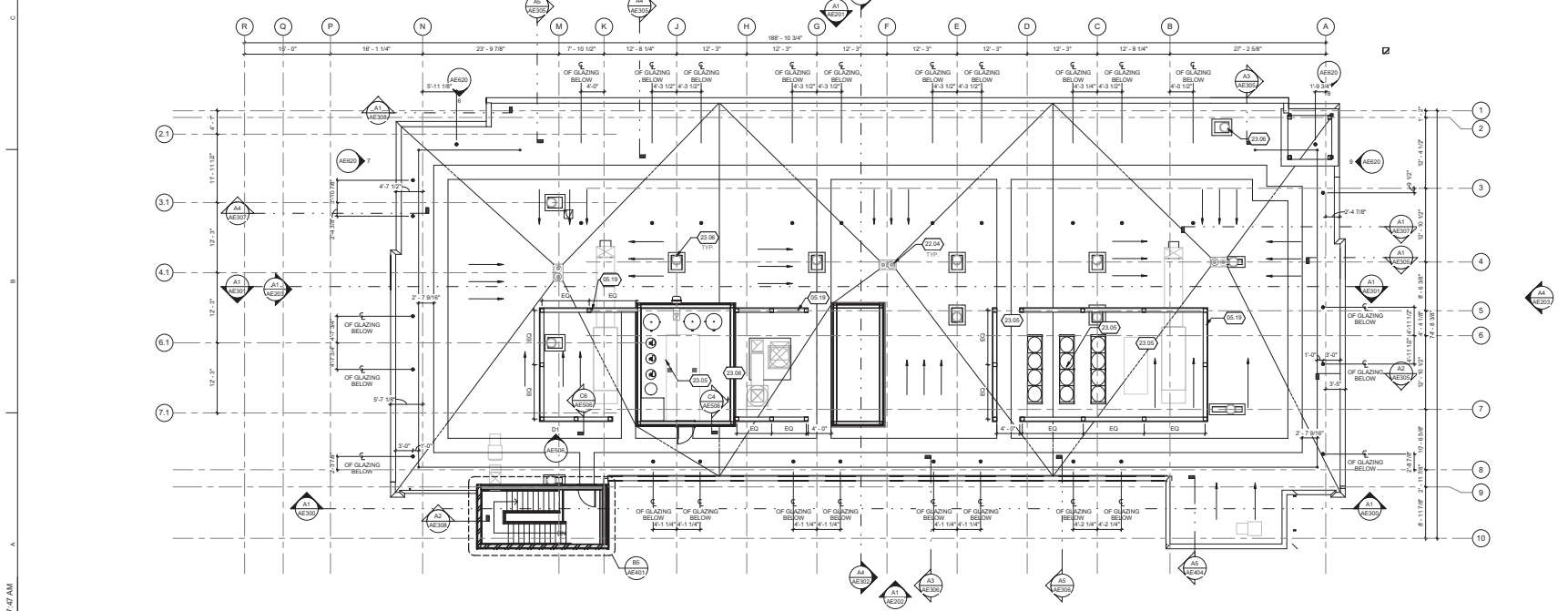
SCALE: 1/8" = 1'-0"

LEVEL 1  
FLOOR PLAN

AE101



**C1 ROOF - SLAB PLAN**  
SCALE: 1/8" = 1'-0"



**A1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

REFERENCE NOTES	
05.19	SCREEN WALL
22.04	ROOF DRAIN, SEE PLUMBING
23.05	MECHANICAL UNIT, SEE MECHANICAL
23.06	ROOF EXHAUST, SEE MECHANICAL

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ARCHITECTS

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ffkr.com

**AC**  
HOTELS  
MARRIOTT

**GENERAL NOTES**

**SLAB PLAN LEGEND**

	CONCRETE SLAB
	SLAB RECESS
	STRUCTURAL CONCRETE
	STAIR LANDING SLAB
	WALL TO BE CONSTRUCTED

AC HOTEL SALT LAKE CITY  
219 W. 200 S. SALT LAKE CITY, UT 84104  
PROGRESS SET

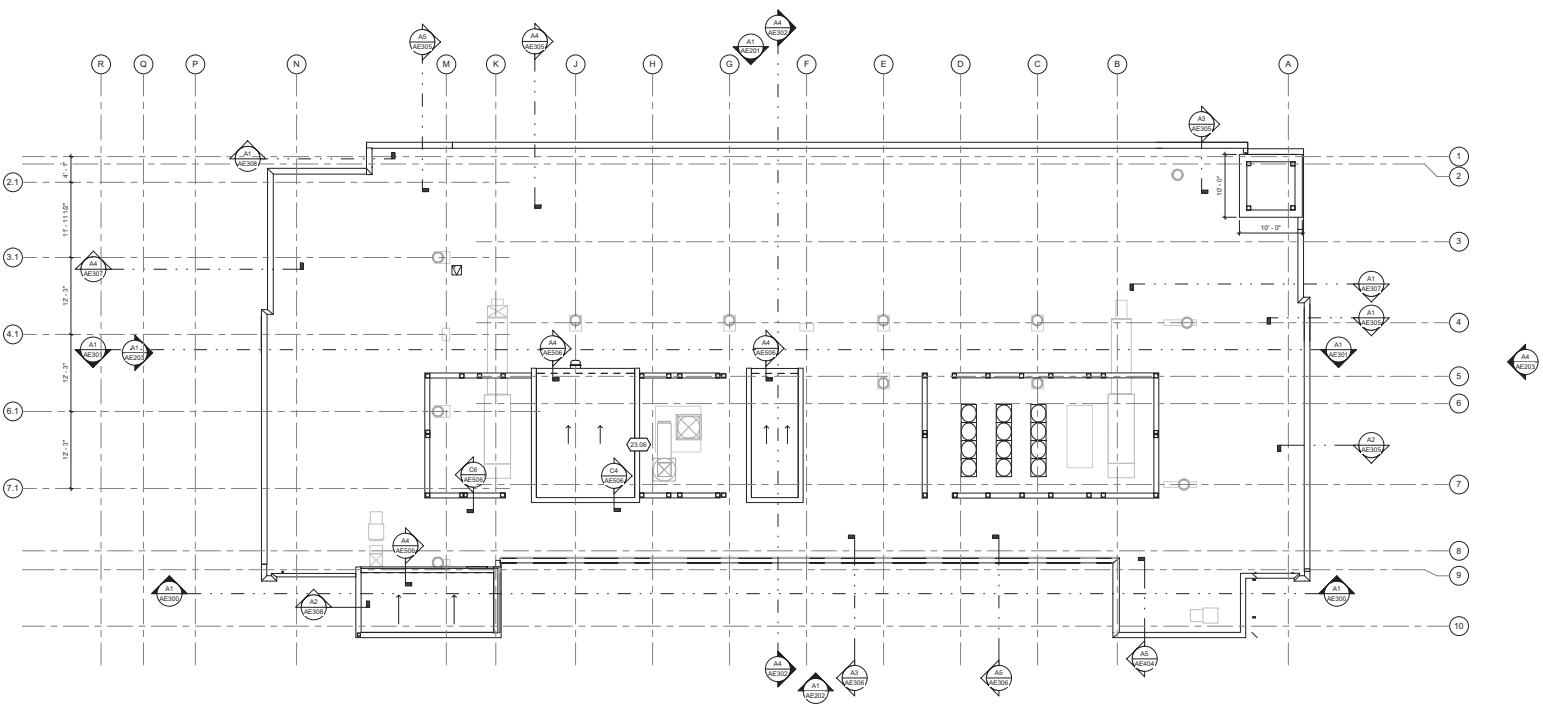
DATE	REVISION
03/03/2016	PROGRESS SET

PROJECT NUMBER: 15059  
DATE:                      AUTHOR:  
DRAWN BY:                CHECKER:  
DESIGNED BY:            AS INDICATED  
**ROOF PLAN**  
AE109

3/14/2016 8:37:47 AM



3/14/2016 8:37:47 AM



**A1** ROOF PLAN FOR UPPER ROOF AREAS  
SCALE: 1/8" = 1'-0"

REFERENCE NOTES

**FFKR**  
ARCHITECTS

Logan Building  
730 Pacific Avenue  
Salt Lake City  
Utah 84104  
• 801-521-6186  
• 801-539-1915  
ffkr.com

**AC**  
HOTELS

MARRIOTT

AC HOTEL SALT LAKE CITY  
219 W. 200 S. SALT LAKE CITY, UT 84104  
PROGRESS SET

DATE	REVISION
03/03/2016	PROGRESS SET

UPPER ROOF  
PLAN

AE110

**END of Hotel Drawings**

**START of Apartment Building Drawings**



218

APARTMENTS

APARTMENT SIGNAGE

APARTMENT SIGNAGE

RETAIL

RETAIL

RETAIL SIGN

REFERENCE NOTES

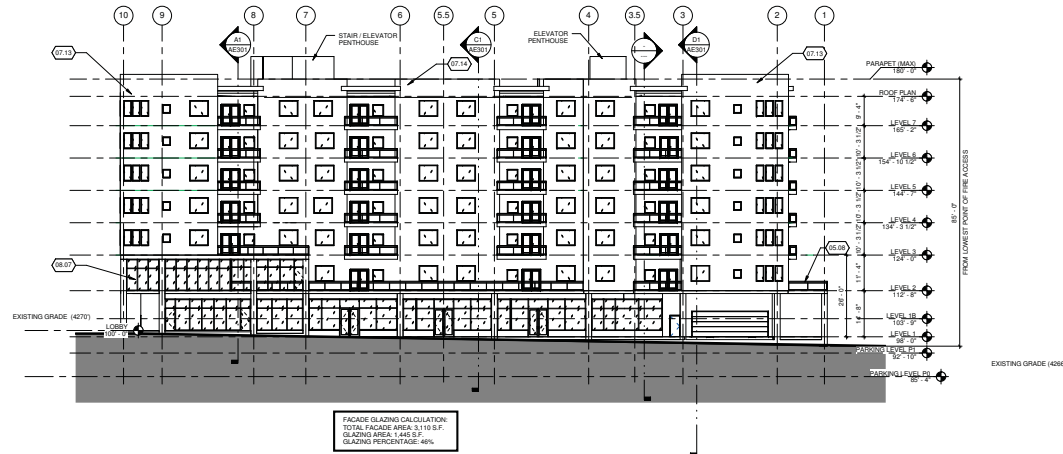
- 03.01 CAST-IN-PLACE CONCRETE
- 05.02 ALUMINUM FRAMING
- 07.13 EXTERIOR TILE
- 07.14 ERS COLOR 1
- 08.07 ALUMINUM STOREFRONT

**FFKR**  
ARCHITECTS

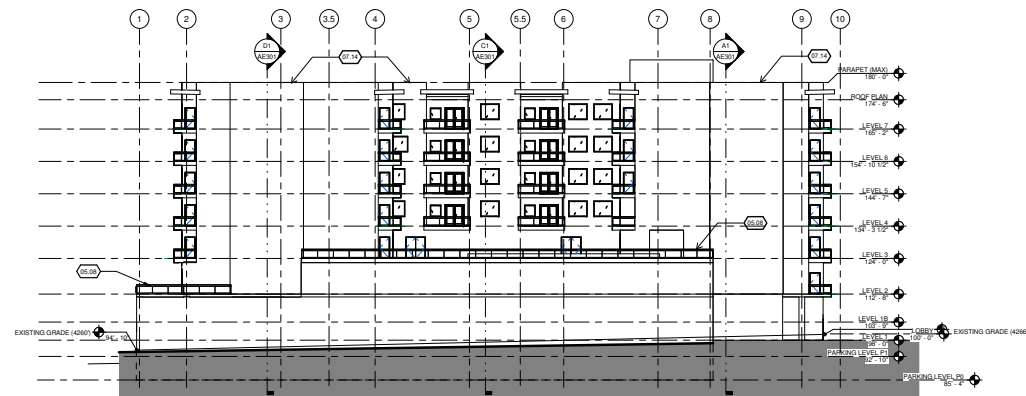
logee building  
730 pacific avenue  
salt lake city  
Utah 84104

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+801-539-1916  
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DOWNTOWN APARTMENTS  
218 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101  
PEG DEVELOPMENT / COLMENA PARTNERS  
DESIGN DEVELOPMENT



**(C1) NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**(A1) SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"

DATE	REVISION

DATE	REVISION

PROJECT NUMBER: 15214  
 DATE: 11/20/15  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 SCALE: 1/16" = 1'-0"

EXTERIOR ELEVATIONS

AE200

03/11/2016 15:09:42



REFERENCE NOTES

- 06.08 ALUMINUM RAILING
- 07.13 EXTERIOR TILE
- 07.14 EPS COLOR 1
- 08.07 ALUMINUM STOREFRONT
- 08.08 OVERHEAD GRILL DOOR



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DOWNTOWN APARTMENTS  
 218 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101  
 PEG DEVELOPMENT / COLMENA PARTNERS  
 DESIGN DEVELOPMENT

DATE	REVISION

PROJECT NUMBER	15114
DATE	
DESIGNER	Author
CHECKER	Checker
SCALE	1/8" = 1'-0"

EXTERIOR ELEVATIONS

AE201



**C1** WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** EAST ELEVATION  
SCALE: 1/8" = 1'-0"

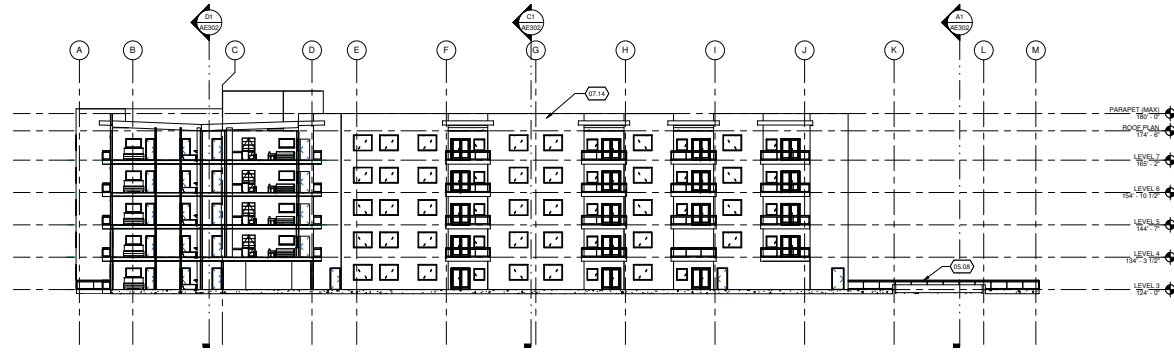
REFERENCE NOTES

05.09 ALUMINUM RAILING  
07.14 EFCO COLOR 1

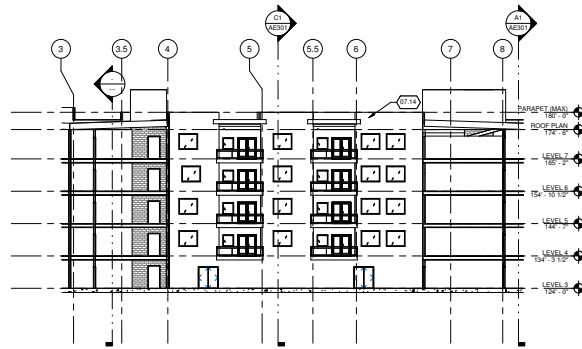
**FFKR**  
ARCHITECTS

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DOWNTOWN APARTMENTS  
218 WEST 200 SOUTH, SALT LAKE CITY, UTAH 84101  
PEG DEVELOPMENT / COLMENA PARTNERS  
DESIGN DEVELOPMENT



D1 COURTYARD WEST ELEVATION  
SCALE: 1/16" = 1'-0"



C1 COURTYARD SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"



A1 COURTYARD EAST ELEVATION  
SCALE: 1/16" = 1'-0"

DATE	REVISED

PROJECT NUMBER	15114
DATE	
DESIGNER	Author
CHECKER	Checker
SCALE	1/16" = 1'-0"

03/11/2016 15:10:23

**ATTACHMENT D: Additional Applicant Information**

Salt Lake City Planning

Conditional Building & Site Design Review

Project Description (REVISED AND RESUBMITTED 3/14/16)

PEG Apartment Building (243 West 200 South)

Zoning Area: D-4

The PEG Development Apartment project is part of a larger development with an AC Hotel project (see the AC Hotel Project Description). The PEG Apartment Building project contains a 339 stall parking structure, retail and 182 apartment units with amenity space. Parking for the apartments, retail and AC Hotel will be contained within the parking structure (339 stalls) and the available surface parking (93 stalls). Total off street parking required is 340.5 stalls (see "PARKING SUMMARY" table on sheet GI003 of the drawings) and total provided is  $339 + 93 = 432$  stalls. Parking requirements for the neighboring Sweet's Candy Building will also be satisfied by these stalls through a reciprocal parking agreement.

This project is seeking a variance on the maximum height requirement set forth in the D-4 ordinance. As shown in the elevations, the project's total height is 84'-0" at the Northwest corner. An increase in allowable height will allow the project to maximize the unit density and thereby increase the urban activity in the area. A variance in building height will not affect the building code requirements of the project; it will remain in full compliance.

The PEG Development Apartment project sits mid-block between 200 West and 300 West and is primarily oriented toward 200 South, the project's North facade. Mass transit stops are located directly in front of the AC Hotel project, along 200 South street. At the ground level, the project includes street oriented retail whose facade is primarily glass and will promote pedestrian interest in the facade. Additionally, the ground level facade facing the entry plaza is made primarily of glass which will give the apartment lobby visibility from the street, further enhancing pedestrian interest.

Part of this co-development includes a grade level plaza connecting the hotel and apartment projects. While this plaza does allow vehicular traffic, its intent is to prioritize pedestrian traffic; creating a safe entry into the development. This plaza will serve as the hub of activity for the development as both project's main entrances spill into this plaza. Bicycle storage, benches and planters will enhance this plaza and add human scale elements that help give the pedestrian traffic priority in this plaza. As shown on the site plan, the dumpster/recycling are fully enclosed and, thereby, screened from public view.

#### Plaza requirement

Apartments: 225,000 G.S.F. (not including parking structure)



Hotel: 95,000 G.S.F.

Total: 320,000 G.S.F. / 10 S.F. = 32,000 S.F. of required plaza

Plaza Area Provided: 49,410 S.F. (including amenity deck and balconies)

### Density Calculations

Hotel: 164 rooms (single occupancy)

0.494 Acres

Density = 331 units / acre

Apartments: 182 units

- Studio: 30
- 1-Bedroom: 74
- 2-Bedroom: 78

2.138 Acres

Density = 85 units / acre

Salt Lake City Planning  
Conditional Building & Site Design Review  
March 14, 2016

Project Description (REVISED AND RESUBMITTED 3/14/16)

AC Hotel (219 West 200 South)

Zoning Area: D-4

The north east section of the combined properties, obtained by PEG development is planned to be an eight story, 95,000 square foot boutique hotel under the brand name of AC MARRIOTT HOTELS.

### **Details on the exterior**

The form of the eight story structure has been developed following Marriott guidelines for the brand, which are;

- Sleek clean lines
- Purposeful stepping
- Recessing of planes

The combined effect is that of a European feel.

This is accomplished through differentiation of materials that emphasize strong geometries of form.

On the north facade, which is the primary elevation, the application of an elegant white band rises from the sidewalk to the parapet one module from the street corner. This element turns horizontal and runs across the top of façade, then descends one module from the opposite end. Here it turns horizontal to fly out in a bold gesture over the lobby and main entry to form a sheltered space for cars and patrons alike.

The two corners fronting the street on the North Façade are flanking bands of glazing that both dematerialize the form and reflect the cityscape and mountains. These in turn tie into the ground floor facade to complete the inverted gesture of the white band. The open display of ground floor activities are intended to promote an openness and direct connection with the street.

The center section of the north facade (levels 2 to 8) is an arrangement of punched openings above a soffit band. These openings are the largest in comparison to the East, South and West sides. This again is intentional to reinforce the feeling of main street frontage being open and inviting

The East and West facades are treated similarly to each other with a gesture of form similar to and in the spirit of the white band on the front. The smaller band of grey metal groups the three southernmost units that face East and West. These have a reduced

module of punched openings, and are recessed intentionally to emphasize a horizontal ribbon effect.

The southern facade is denoted by the framing forms of the stair towers that bound the center field of rooms. Here again the punched openings are reduced even further and are only slightly recessed with the facade.

The roof line allows the façade elements to be emphasized with the stepping of white, gray and dark gray elements respectively. The AC Hotel logo will be located on the frontage near the parapet edge.

### **Details on the grounds**

The hotel occupies much of the buildable property right at the street corner. Streetscape and landscape alike will be developed to follow Salt Lake City guidelines with street trees along the two main street frontages (200 West and 200 South) A landscaped area will buffer the existing surface parking along the entire south side and key landscape planting areas will be located at the main entry.

The common space between the AC Hotel and the Apartment / Parking garage development, is intended to link the two projects and is detailed as such. This public space has landscaping, seating and other public amenities to feel hospitable and welcoming to the public.

### **Details of the interior**

Internally the ground floor is an open, active public space along the two main street frontages.

The main entry is on the West and is followed with the lobby and reception desk, guest seating, the AC Lounge, the AC Breakfast area, and patio. The patio is an outdoor space that will be open during select hours. The grade change creates a sunken patio area that will allow guest to spill out onto the street corner. However there is a four foot grade separation preventing direct access to the street.

Along 200 West is meeting room function that will host various activities. This space opens up to the patio area as well to further expand the usability of this space.

Back of house functions (Administrative areas, mechanical rooms and kitchen areas) are clustered along the south side of the building away from the street edge.

Back of house functions continue on the 2<sup>nd</sup> floor with the main laundry and employee breakroom. A fitness center is provided for guests on this level.

Guest rooms occupies the majority of spaces from levels 2 to 8. Rooms are oriented to face all four cardinal directions and follow the template designed by Marriott. There are 164 guestrooms total in the building.

**ATTACHMENT E: Existing Conditions**



## Existing Conditions:

The project site consists of 11 smaller parcels with six existing buildings, some of which are vacant. The existing or previous uses include office, storage units, and retail with surface parking for all properties.

The adjacent uses include:

- North: Federal Post Office
- East: Office and multi-level parking structure
- South: Restaurant, commercial, residential uses
- West: Surface parking lot

### 21A.30.045: D-4 DOWNTOWN SECONDARY CENTRAL BUSINESS DISTRICT:

- A. Purpose Statement: The purpose of the D-4 secondary central business district is to foster an environment consistent with the area's function as a housing, entertainment, cultural, convention, business, and retail section of the city that supports the central business district. Development is intended to support the regional venues in the district, such as the Salt Palace Convention Center, and to be less intense than in the central business district. This district is appropriate in areas where supported by applicable master plans. The standards are intended to achieve established objectives for urban and historic design, pedestrian amenities, and land use control, particularly in relation to retail commercial uses.
- B. Uses: Uses in the D-4 secondary central business district as specified in section [21A.33.050](#), "Table Of Permitted And Conditional Uses For Downtown Districts", of this title, are permitted subject to the general provisions set forth in section [21A.30.010](#) of this chapter. In addition, all conditional uses in the D-4 district shall be subject to design evaluation and approval by the planning commission.
- C. D-4 District General Regulations:
1. Minimum Lot Size: No minimum lot area or lot width is required.
  2. Yard Requirements:
    - a. Front And Corner Side Yards: No minimum yards are required, however, no yard shall exceed five feet (5') except as authorized through the conditional building and site design review process. Such designs shall be subject to the requirements of [chapter 21A.59](#) of this title. Where an entire block frontage is under one ownership, the setback for that block frontage shall not exceed twenty five feet (25'). Exceptions to this requirement may be authorized through the conditional building and site design review process subject to the requirements of [chapter 21A.59](#) of this title.
    - b. Interior Side And Rear Yards: None required.
  3. Restrictions On Parking Lots And Structures: An excessive influence of at or above ground parking lots and structures can negatively impact the urban design objectives of the D-4 district. To control such impacts, the following regulations shall apply to at or above ground parking facilities:
    - a. Within block corner areas, structures shall be located behind principal buildings, or at least seventy five feet (75') from front and corner side lot lines.
    - b. Within the mid block areas, parking structures shall be located behind principal buildings, or at least thirty feet (30') from front and corner side lot lines. A modification to this requirement may be granted as a conditional use, subject to conformance with the standards and procedures of [chapter 21A.54](#) of this title. Parking structures shall meet the following:
      - (1) Retail goods/service establishments, offices and/or restaurants shall be provided on the first floor adjacent to the front or corner side lot line. The facades of such first floor shall be compatible and consistent with the associated retail or office portion of the building and other retail uses in the area.
      - (2) Levels of parking above the first level facing the front or corner side lot line shall have floors/facades that are horizontal, not sloped.
      - (3) Mid block surface parking lots shall have a fifteen foot (15') landscaped setback.
    - c. Accessory parking structures built prior to the principal use, and commercial parking structures, shall be permitted as conditional uses with the approval of the planning commission pursuant to the provisions of [chapter 21A.54](#) of this title.
    - d. No special restrictions shall apply to belowground parking facilities.
    - e. At grade (surface) parking facilities shall be set back behind the principal building and shall be set back at least seventy five feet (75') from front and corner side lot lines and landscaped in a way that minimizes visual impacts.

4. Minimum First Floor Glass: The first floor elevation facing a street of all new buildings or buildings in which the property owner is modifying the size of windows on the front facade within the D-4 secondary central business district, shall be at least forty percent (40%) glass surfaces. All first floor glass shall be nonreflective type glass. Exceptions to this requirement may be authorized through the conditional building and site design review process, subject to the requirements of [chapter 21A.59](#) of this title. The planning director may approve a modification to this requirement, if the planning director finds:
  - a. The requirement would negatively impact the historic character of the building; or
  - b. The requirement would negatively impact the structural stability of the building.
  - c. The ground level of the building is occupied by residential uses, in which case the forty percent (40%) glass requirement may be reduced to twenty five percent (25%).

Appeal of administrative decision is to the planning commission.

5. Interior Plazas, Atriums And Galleries: Interior plazas, atriums and galleries shall be permitted throughout the D-4 secondary central business district.
6. Location Of Service Areas: All loading docks, refuse disposal areas and other service activities shall be located on block interiors away from view of any public street. Exceptions to this requirement may be approved through the site plan review process when a permit applicant demonstrates that it is not feasible to accommodate these activities on the block interior. If such activities are permitted adjacent to a public street, a visual screening design approved by the zoning administrator shall be required.
7. Landscape Requirements: All buildings constructed after April 12, 1995, shall conform to the special landscape requirements applicable to the D-4 secondary central business district as contained in [chapter 21A.48](#) of this title.
8. Maximum Building Height: No building shall exceed seventy five feet (75'). Buildings taller than seventy five feet (75') but less than one hundred twenty feet (120') may be authorized through the conditional building and site design review process, subject to the requirements of [chapter 21A.59](#) of this title.
9. Mid Block Walkways: As a part of the city's plan for the downtown area, it is intended that mid block walkways be provided to facilitate pedestrian movement within the area. To delineate the public need for such walkways, the city has formulated an official plan for their location and implementation, which is on file at the planning division office. All buildings constructed after the effective date hereof within the D-4 downtown district shall conform to this plan for mid block walkways.
10. Mid Block Streets: Developments constructing mid block streets, either privately owned with a public easement or publicly dedicated, that are desired by an applicable master plan:
  - a. May use a portion or all of the overhead and underground right of way of the new mid block street as part of their developable area irrespective of lot lines, subject to design review and approval of the planning commission.
  - b. May increase the height of the building on the remaining abutting parcel, subject to the conditional building and site design review process in conformance with the standards and procedures of [chapter 21A.59](#) of this title. (Ord. 66-13, 2013: Ord. 62-13, 2013: Ord. 15-13, 2013)

**ATTACHMENT F: ANALYSIS OF STANDARDS**

**21a.59.060: Standards for Design Review:** In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Finding	Rationale
A. Development shall be primarily oriented to the street, not an interior courtyard or parking lot.	Complies	For both buildings the building design is oriented both to 200 South and an open pedestrian area between the buildings.
B. Primary access shall be oriented to the pedestrian and mass transit.	Complies	Both buildings have entrances oriented to the pedestrian and mass transit along 200 South, which is a primary bus route.
C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.	Complies	Both building facades at ground level along 200 South are predominantly transparent, looking into large lobby area and retail/small commercial spaces, which facilitate pedestrian interest and interaction.
D. Architectural detailing shall be included on the ground floor to emphasize the pedestrian level of the building.	Complies	<p><b>Hotel:</b> The ground level includes significant amount of glass along with clear distinction between the ground floor (public uses) and the hotel rooms above, contributing to a visual hierarchy for the building.</p> <p><b>Apartment:</b> The ground level façade includes columns between each commercial unit that serve to break up the expanse of the glass and emphasize the pedestrian level.</p>
E. Parking lots shall be appropriately screened and landscaped to minimize their impact on adjacent neighborhoods. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.	Complies	Parking will be provided primarily via an enclosed parking garage incorporated into the Apartment building, however surface parking will also remain around the existing Sweet's building that will remain. The parking will be shared among three parcels: the apartment building, the hotel, and the existing Sweet's building. The impact of this parking is minimized by the screening (in a structure) and is behind or to the side of buildings. Proposed landscaping also lessens the impact.
F. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the street or other pedestrian facilities.	Complies	The proposal would reduce the number of vehicle access points onto the adjacent Streets, thereby reducing the vehicle/pedestrian conflict. A plaza is proposed between the buildings which will be landscaped and designed primarily pedestrian use with allowances for slow moving vehicles. All building entrances are situated to allow direct pedestrian access between the public and the building.
G. Dumpsters and loading docks shall be appropriately screened or located within the structure.	Complies	Dumpsters are located within the enclosed parking structure. Loading areas are not shown on the plans and staff is unsure what the applicant's plans are for loading docks. The applicant had inquired about using on-street loading but the ordinance requires they be located on the site. Any recommendations for approval of the project will have that requirement as a condition.



<p><b>H. Signage shall emphasize the pedestrian/mass transit orientation.</b></p>	<p><b>Complies</b></p>	<p><b>Hotel:</b> Application information indicates signage at the top of the primary façade and a sign on the canopy over the main entrance. The entrance sign is oriented toward the pedestrian and mass transit riders.</p> <p><b>Apartment:</b> The signs are located above the entrances to each commercial unit and signage for the main development on wall signs higher up on the building façade. This combination emphasizes the pedestrian/mass transit orientation.</p> <p>Any recommended approval, in whole or in part, of this project does not intend to include signs that exceed the allowed number, location, or dimension.</p>
<p><b>I. Lighting shall meet the lighting levels and design requirements set forth in <a href="#">chapter 4</a> of the Salt Lake City lighting master plan dated May 2006.</b></p>	<p><b>Complies</b></p>	<p>Application information indicates compliance with city’s lighting standards</p>
<p><b>J. Streetscape improvements shall be provided as follows:</b></p> <ol style="list-style-type: none"> <li><b>1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each thirty feet (30') of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester.</b></li> <li><b>2. Landscaping material shall be selected that will assure eighty percent (80%) ground coverage occurs within three (3) years.</b></li> <li><b>3. Hardscape (paving material) shall be utilized to designate public spaces. Permitted materials include unit masonry, scored and colored concrete, grasscrete, or combinations of the above.</b></li> <li><b>4. Outdoor storage areas shall be screened from view from adjacent public rights of way. Loading facilities shall be screened and buffered when adjacent to residentially zoned land and any public street.</b></li> <li><b>5. Landscaping design shall include a variety of deciduous and/or evergreen trees, and shrubs and flowering plant species well adapted to the local climate.</b></li> </ol>	<p><b>Complies</b></p>	<p>Application indicates streetscape and landscape improvements will be installed to comply with these standards.</p>
<p><b>K. The following additional standards shall apply to any large scale developments with a gross floor area exceeding sixty thousand (60,000) square feet:</b></p>		

<p><b>1. The orientation and scale of the development shall conform to the following requirements:</b></p> <p><b>a. Large building masses shall be divided into heights and sizes that relate to human scale by incorporating changes in building mass or direction, sheltering roofs, a distinct pattern of divisions on surfaces, windows, trees, and small scale lighting.</b></p> <p><b>b. No new buildings or contiguous groups of buildings shall exceed a combined contiguous building length of three hundred feet (300').</b></p>	<p><b>Complies</b></p>	<p><b>Hotel:</b> The building mass is generally in the shape of a box with minimal changes, however the primary entrance is sheltered by a canopy roof within a cut-out corner of the building. The material changes through the façade also contribute to breaking up the mass of the building.</p> <p><b>Apartment:</b> The building has many changes in massing, direction, and surfaces that help it relate to the human scale.</p> <p>Neither of the proposed buildings would exceed 300 feet in length on any façade facing the street. The two buildings would be on separate parcels.</p>
<p><b>2. Public spaces shall be provided as follows:</b></p> <p><b>a. One square foot of plaza, park, or public space shall be required for every ten (10) square feet of gross building floor area.</b></p> <p><b>b. Plazas or public spaces shall incorporate at least three (3) of the five (5) following elements:</b></p> <p>(1) Sitting space of at least one sitting space for each two hundred fifty (250) square feet shall be included in the plaza. Seating shall be a minimum of sixteen inches (16") in height and thirty inches (30") in width. Ledge benches shall have a minimum depth of thirty inches (30");</p> <p>(2) A mixture of areas that provide shade;</p> <p>(3) Trees in proportion to the space at a minimum of one tree per eight hundred (800) square feet, at least two inch (2") caliper when planted;</p> <p>(4) Water features or public art; and/or</p> <p>(5) Outdoor eating areas.</p>	<p><b>Complies</b></p>	<p>The project provides a plaza between the two proposed buildings that will include benches and planters. The apartment building includes an amenity deck with benches, planters, and outdoor space. The amount of plaza and public spaces meets the area requirement.</p>
<p><b>L. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as adopted master plan policies, the city's adopted "urban design element" and design guidelines governing the specific area of the proposed development. Where there is a conflict between the standards found in this section and other adopted plans and regulations, the more restrictive regulations shall control.</b></p>	<p><b>Complies</b></p>	<p>The building responds to 200 South and 200 West Streets with an urban format with no additional setbacks, as required by the D-4 zoning district. The <i>urban design element</i> encourages a sculpting of building on the skyline to encourage the creation of interesting skyline features. This particular building proposes a distinct roof top sign that enhances the skyline and has minimal architectural detailing at the roofline to enhance the white horizontal band across the top. These simple features are deemed compatible with the overall simple, modern design of the hotel building.</p>

See additional "HEIGHT STANDARDS" on next page...

**21a.59.065: Standards for Design Review for Height:** In addition to standards provided in 21A.59.060 (above), the following standards shall be applied to all applications to all applications for conditional building and site design review regarding height:

Standard	Finding	Rationale
<p><b>A. The roofline contains architectural features that give it a distinctive form or skyline, or the rooftop is designed for purposes such as rooftop gardens, common space for building occupants or the public, viewing platforms, shading or daylighting structures, renewable energy systems, heliports, and other similar uses, and provided that such uses are not otherwise prohibited.</b></p>	<p><b>Complies</b></p>	<p>This rooftop is not designed for use by occupants or the public, and therefore is primarily subject to the first part of the standard regarding “distinctive form or skyline”. As discussed on <b>Standard L</b> of the previous table, the proposal includes a distinct roof top sign that enhances the skyline, and has minimal architectural detailing at the roofline to enhance the white horizontal band across the top. These simple features are deemed compatible with the overall simple, modern design of the hotel building..</p>
<p><b>B. There is architectural detailing at the cornice level, when appropriate to the architectural style of the building.</b></p>	<p><b>Complies</b></p>	<p>The architectural style of the building does not lend itself to a detailed cornice, however it does include some offset between the white band and the parapet, contributing to the simple modern design while giving visual interest to the top of the façade.</p>
<p><b>C. Lighting highlights the architectural detailing of the entire building but shall not exceed the maximum lighting standards as further described elsewhere in this title.</b></p>	<p><b>Complies</b></p>	<p>Lighting is focused on the pedestrian level, as part of the open grand lobby and entrances. Staff is unaware of any other proposed lighting on the remaining exterior of the building, particularly at the higher levels. With the ground level façade being glass, visible lighting will come primarily from the interior lights.</p>

**ATTACHMENT G: Public Process and Comments**



## **Public Notice, Meetings, Comments**

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project:

### **Notice of the public hearing for the proposal included:**

Public hearing notice mailed on April 14, 2016

Public hearing notice posted on April 14, 2016

Public notice posted on City and State websites and Planning Division list serve: April 14, 2016

### **Public Comments**

No public comments were received prior to the completion of this report. Comments received after will be provided to the planning commission members at the meeting.

**ATTACHMENT H: Department Comments**

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## CITY DEPARTMENT COMMENTS

### **Public Utilities** (Jason Draper):

Applicant should refer to DRT notes from February 8, 2016 for specific requirements noted for this project. Final details will be reviewed during the permitting process when design has been completed.

There are multiple water and sewer lateral services to the existing properties. One culinary meter per property is allowed. One landscape meter for any property larger than 1/2 acre. Fire lines may be reused if they are the correct size. All unused meters and fire line must be killed at the water main. All unused sewer laterals must be capped at the property line.

Provide fire flow calculations to verify that the existing water line provide fire flow and meets flow, pressure and velocity requirements. Any interior hydrants would be required to be on a separate fire line with a detector check. A technical drainage study will be required for the property. Detention will be required for the property.

### **Engineering** (Scott Weiler):

Engineering is willing to approve the proposed Conditional Building and Site Design Review for the exception involving taller buildings but will need to perform another review of the proposed streetscape design before giving final approval to the public way plans. Please forward the redlines on the attached CIVIL plans to the applicant, along with the attached Urban Forestry checklist.

**Transportation** (Mike Barry): The project must comply with parking regulations per city code 21A.44. Shared parking must comply with city code 21A.44.040.B.1. The width of the driveway on 200 S (see sheet C1.1 Site Plan), shown on plan as 42.5 feet, exceeds the maximum driveway width of 30 feet per 21A.44.020.F.7.b.

### **Zoning:** (Gregory Mikolash):

- Combining numerous parcels to create 2 separate parcels with development of an apartment complex/parking structure on one site; lot combination required.
- Planters in the public way will need to be discussed with the SLC Real Property Div. regarding commercial lease agreement.
- A separate demolition permit will be required for the removal of each of the existing buildings, however; the apartment building/parking structure proposal will need to include a demolition plan that identifies the square footage of each structure being demolished for use in determining offsets for building permit impact fees. As part of the demolition application, the construction waste management provisions of 21A.36.250 apply. This proposal will need to be discussed with the building code personnel in Room #215.
- A Certified Address is to be obtained from the Engineering Dept. for use in the plan review and permit issuance process.
- This proposal will need to comply with the provisions of 21A.30 - Downtown Districts.
- Must comply with the provisions 21A.36 in regards to use of land and buildings, conformance with lot and bulk controls, environmental performance standards, a permanent recycling collection station, construction waste management plan, etc.
- Proposal must comply with any appropriate provisions of 21A.40 for accessory uses and structures.
- The proposal must meet the provisions of 21A.44 for parking and maneuvering, with parking calculations provided that address the minimum parking required, maximum parking allowed, number provided, bicycle parking required/provided, electric vehicle parking required/provided, off-street loading required/provided and any method of reducing or increasing the parking requirement.
- The provisions of 21A.48 for all landscaping shall be met.
- No zoning issues related to height if approved through the Planning Commission.

### **Fire:** (Ted Itchon):

Please note they cannot build Type III construction 7 stories. If they build it 6 stories the code requires a maximum sq. ft. area of 3,000 sq. ft. area with 2 hour fire rated walls per floor for each floor.

**ATTACHMENT I: Motions**

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## **Potential Alternate Motion**

### **Not Consistent with Staff Recommendation:**

#### Deny full proposal

Based on the testimony, plans presented and the following findings, I move that the Planning Commission deny Petition PLNSUB2016-00118 for Conditional Building And Site Design Review.